
Aspire

AT EVANSTON SOUTH

Residential Urban Design Guidelines for Detached Dwellings



Prepared for
Lanser Communities by:



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1 Introduction

Aspire is a prestigious new residential community at Evanston South. At Aspire, we believe that good design is a fundamental component of enjoyable and sustainable living. After consulting Adelaide's best urban planners and home builders we have developed design guidelines that:

- embrace the concept of "city meets country" living
- promote designs which are sympathetic to the existing surroundings and topography
- support best practice in residential design
- help reduce the operating costs of your home.

These design guidelines are in place to ensure that once you have found the ideal site for your home, your new neighbourhood lives up to expectations. These guidelines are intended to assist owners, designers and builders to construct homes to a consistent standard. They act to achieve a thoughtful blend of innovation and contemporary architecture whilst working to complement the natural environment. They also ensure the overall character and high quality of the address in order to protect your investment now and into the future.

2 Design and Approval Process

Step 1: Read the Residential Design Guidelines

Read the *Residential Design Guidelines* and thoroughly familiarise yourself with the requirements for building on your allotment. Particular information pertaining to your lot may be prescribed on the Allotment Development Plan. Make sure that you check to see if there are any specific provisions for your particular site.

Step 2: Prepare Your Home Plans

Step 3: Submit your House Plans to the Encumbrance Manager:

Two sets of plans should be submitted to the Encumbrance Manager at:

Aspire Encumbrance Manager
PO Box 595
Kent Town 5071
Ph 8132 1115

Alternatively, plans in PDF format can be emailed to aspire@lanser.com.au

Plans to be submitted must include:

- Site Plan (showing setbacks to boundaries and driveway location)
- House Plans and Elevations
- Site Levels (cut/fill benching plan), including retaining wall colours and materials
- Colour Schedule and details of construction materials

Step 4: Encumbrance Approval

The Encumbrance Manager will confirm that the proposed plans are acceptable or advise you of any items that require further consideration. Once approved by the Encumbrance Manager, the plans will be stamped accordingly and forwarded to the Applicant.

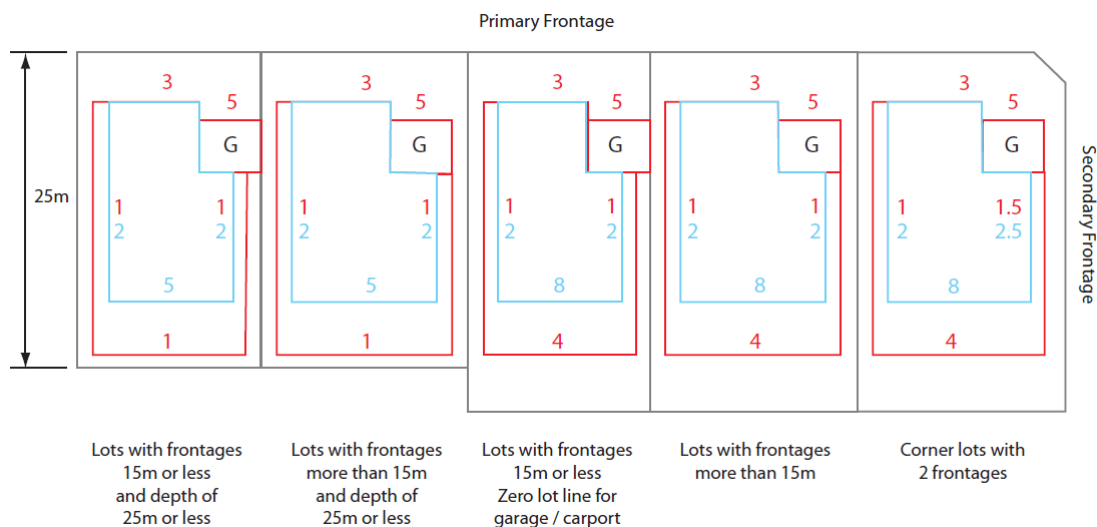
Step 5: Development Approval

Lodge your stamped plans for Development Approval with the Gawler Council. Once *Development Approval* has been issued by the Town of Gawler you may commence building your home.

3 Building Siting and Setbacks

An Allotment Development Plan has been prepared for each individual allotment that identifies the area in which a dwelling may be sited. The Allotment Development Plan indicates:

- The minimum building setback required from the street or lane boundary (or boundaries, where an allotment has more than one street frontage)
- The minimum building setbacks required from side and rear boundaries
- The minimum building setback required for single and two storey development
- The minimum building setback from a public reserve
- Where a garage / carport can be constructed on the boundary and the minimum setback



Reading the Allotment Development Plan:

- The red line on the allotment indicates the maximum possible extent of the ground floor of the dwelling.
- The red number indicates the minimum distance in metres that the ground floor of the dwelling can be built from the boundary.
- The blue line indicates the maximum possible extent of the upper floor / second storey of the dwelling.
- The blue number indicates the minimum distance in metres that the upper floor / second storey of the dwelling can be built from the boundary.
- The letter G indicates the garage and its setback from the front and side boundaries.

Requirements

- A dwelling must be sited within the building envelope subject to site coverage, private open space and other requirements as set out in these Guidelines. Buildings which encroach outside the building envelope will not be approved. The size of each envelope is in excess of the area required to construct a wide variety of dwelling forms and exceeds the site coverage area.

Please note: The following may encroach beyond the setbacks referred to in these guidelines:

- Entry Porch / Portico
- Fascias, gutters, downpipes and eaves up to 0.5m (500mm);
- Masonry chimneys, flues and pipes;
- Verandah, balconies, landings, steps or ramps not more than 1m in floor level height;

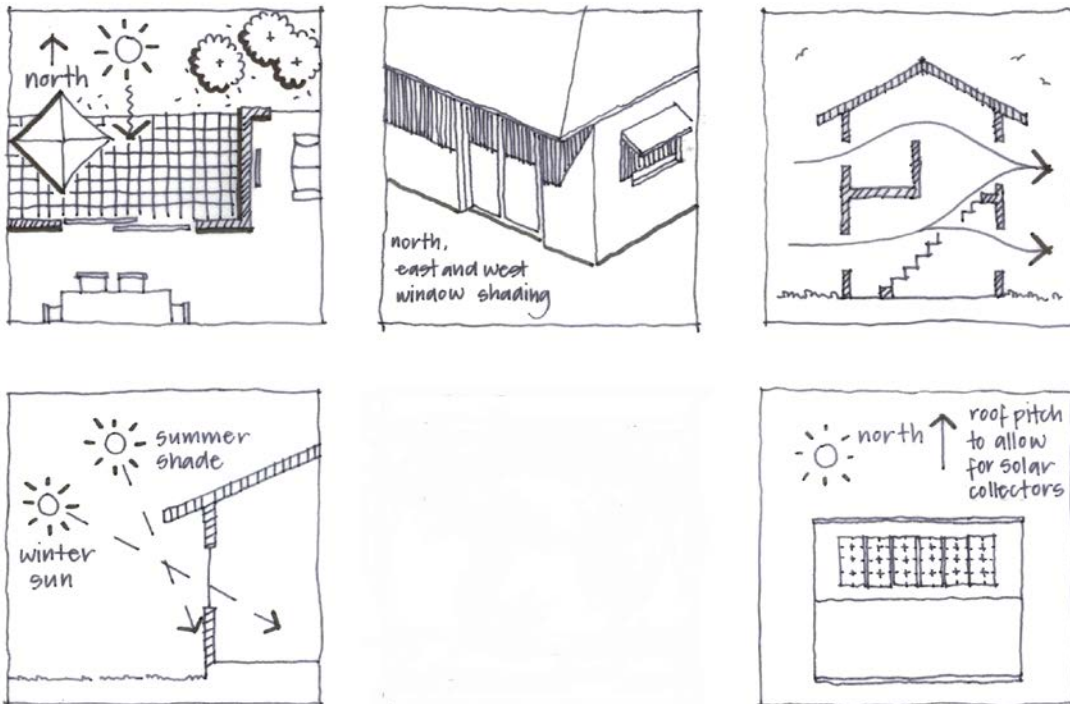
For corner allotments, the 'primary street frontage' is the frontage having the lesser length, and the 'secondary street frontage' is the frontage having the greater length.

The requirements of the "Aspire" Residential Design Guidelines are additional to any requirements of the Gawler (CT) Development Plan, and where there is a discrepancy between the two, those detailed in the guidelines prevail.

Recommendations:

Appropriate building positioning, design techniques and building materials make it easy for a home to be energy efficient. Homes within Aspire should improve their sustainability through the following recommended siting and design techniques.

- Locate habitable living areas and private open space on the northern side of the allotment. Dwellings should have at least one north-facing room (i.e. between 30° east and 15° west) capable of being used as a living area.
- 'Zone' house layouts to enable main living areas to be separately heated and cooled.
- Locate, size and shade windows to reduce summer heat loads and permit entry of winter sun.
- Allow for cross ventilation to enable cooling breezes to reduce internal temperatures in summer.
- Use low embodied energy materials and materials that maximise efficient thermal performance.
- Design roof orientation and pitch to enable effective use of solar collectors.
- Ensure adjacent properties are able to continue or adopt design strategies referred to above.



4 Site Coverage

Requirements:

The site coverage should provide sufficient space for:

- Pedestrian and vehicle access and vehicle parking
- Storage and clothes drying
- Private open space and landscaping, and:
- Front, side and rear boundary setbacks

Site Coverage should be aimed at a **maximum** of 55%.

- Any site coverage over 55% will be considered on its merits

Please note: Site coverage represents the proportion of the site covered by the ground floor of a building including the dwelling, garage / carport, outbuildings and alfresco areas under the main roof, but excludes verandahs, and pergolas.

All dwellings must have a minimum floor area of 100m² (exclusive of garages, carports, pergolas and verandahs).

5 Building Height and Ceiling Height

Requirements:

- No dwellings shall be more than two storeys and shall have a maximum building height of 9 metres (measured from natural ground level to the highest point of the building).
- All homes on block widths less than 15m shall have a minimum internal floor to ceiling height of 2.7metres for ground floor rooms.

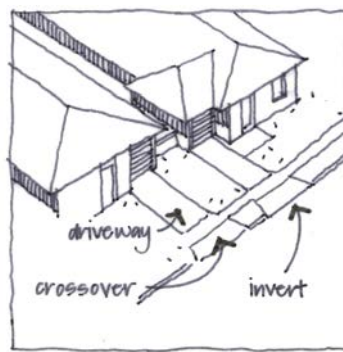
6 Garages and Vehicle Access

Requirements:

- Two on-site resident parking spaces per dwelling shall be provided, one of which is to be undercover.
- Desired driveway locations are indicated on the Allotment Development Plan. Variations are considered by merit and all costs of relocating services are to be borne by applicant.
- Only one crossover is allowed per street frontage.

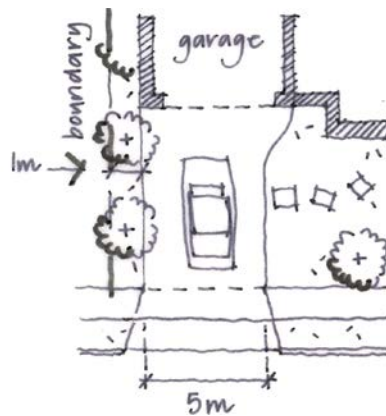
Please note: For the purpose of these guidelines:

- an 'invert' is the point where the 'crossover' adjoins the kerb line of the roadway;
- a 'crossover' is that part of the driveway constructed between the kerb line and the private property boundary; and
- a 'driveway' is that part of the vehicle access located within the private property (see figure below).



- Driveways should:
 - Have a maximum width of 3 metres for single garages and 4.5 metres for double garages as measured at the front property boundary. A wider driveway to access rear side gate will be assessed on merit.
 - Crossovers must be constructed to Councils standards and specifications.
 - Be set back 1 metre from the side boundary where the garage is off the boundary to enable landscaping to occur.
 - Crossovers must be constructed of textured / exposed aggregate concrete of a similar nature to the footpaths (or, of coloured unit paving that is complimentary to the driveway).
 - Driveways must be constructed of either textured / exposed aggregate concrete of a similar nature to the footpaths, or, in coloured unit paving that is complimentary to the crossover.

Please Note: Plain grey concrete is not permitted.



- Garages and carports shall:
 - Either be under the main roof or complement the roof form and materials of the house.
 - Be setback 5.0m from the front boundary to enable visitor parking.
 - Be setback at least 0.5m from the front façade of the dwelling, unless architectural merit dictates otherwise.
 - Have a maximum width of 6.0m or 50% of the site frontage width, whichever is the lesser.
 - Not use roller doors.
- Double garages shall have either:
 - Two separate doors with a distance of not less than 300 millimetres between them; or
 - A double door with moulded door panels having a maximum width of 5 metres.

- 2 storey dwellings with double on 10m allotments will be supported subject to:
 - Second storey setbacks being adhered to
 - Double garages to be setback an additional 0.5m to what is normally required (ie 5.5m as opposed to 5m)
 - Use of bulk heads, architectural doors and other architectural features to reduce the visual dominance of the garage,

7 Private Open Space and Impermeable Surfaces

Requirements:

Each allotment shall include private open space in accordance with the following:

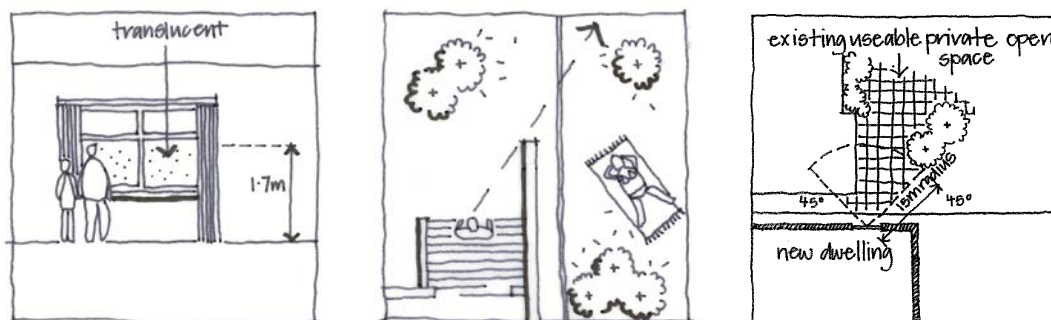
- Private Open Space shall have a total area of at least 20% of the allotment area or a minimum of 60 square metres, whichever is the greater.
- Private Open Space shall be screened from adjoining properties and public areas by a solid fence of at least 1.8m in height.
- One part of the Private Open Space must be directly accessible from a habitable room, have an area of 24 square metres with a minimum dimension of 4.0 metres and have a maximum gradient of 1 in 10. Where practicable, this part shall have a northerly aspect also.
- At least 70% of the total area of private open space shall not be covered by roofs, verandahs or other impermeable structures.
- At least 40% of the total area of private open space shall not be paved or otherwise sealed, and is designed to accommodate soft landscaping.

8 Privacy

Requirements:

Direct overlooking from upper level habitable room windows and external balconies, terraces and decks to habitable room windows and the useable private open spaces of other dwellings shall be minimised by providing:

- permanently fixed translucent glazing in that part of the window below 1.7m above floor level;
- window sill heights of a minimum of 1.7m above floor level; or
- permanently fixed external screens, including wing walls, solid or translucent panels and planter boxes to restrict site lines.

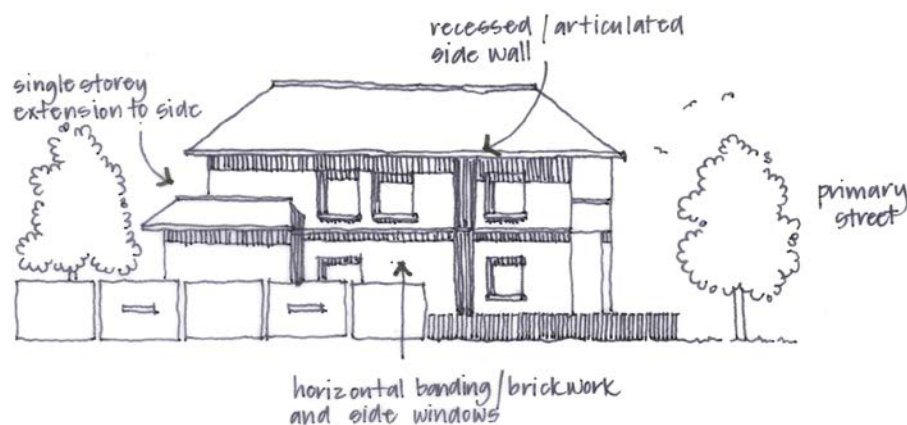


Please note: For the purposes of this requirement, a direct view occurs if windows or outdoor areas overlooked are located within a horizontal distance of 15 metres from the vertical centre line of the overlooking window and beyond a 45° angle from the plane of the wall containing the overlooking window.

9 Building Appearance

Requirements:

- Dwellings shall demonstrate urban design of the highest quality incorporating diversity and innovation. The façade of the house must have an engaging and attractive appearance when viewed from the street or a public reserve.
- The appearance of all dwellings, especially two-storey dwellings, shall be enhanced through architectural detailing and articulation of walls to avoid bulky, bland facades with uninterrupted walling on both the primary and secondary frontages, as well as any elevations visible to the public (e.g. from streets and parks).



- Dwelling facades on the primary frontage (and the publically visible secondary frontage) shall be constructed using at least *three* of the following elements:
 - Combination of brick and stone (including stone veneer), or brick and render
 - Feature walls / infill incorporating timber, painted weatherboard, cement sheet (e.g. Scyon), and Colorbond. The use of alternative wall cladding materials will be considered on their architectural merits.
 - Feature window frames of timber or commercial section aluminium
 - Fixed window shade treatments
 - Fan light or side light or both to the front door
 - Portico or verandah (or other architectural feature that enhances the entrance)
 - Various balcony forms projecting from the façade for two storey buildings
 - Variations in wall height and rooflines.
 - Any other architectural detailing that contributes to the visual interest of the façade
- All roofs shall have a minimum pitch of 25 degrees and include eaves of a minimum width of 450mm, unless architectural merit demonstrates otherwise.

Please Note: 450mm eaves not required on 2nd storey component.

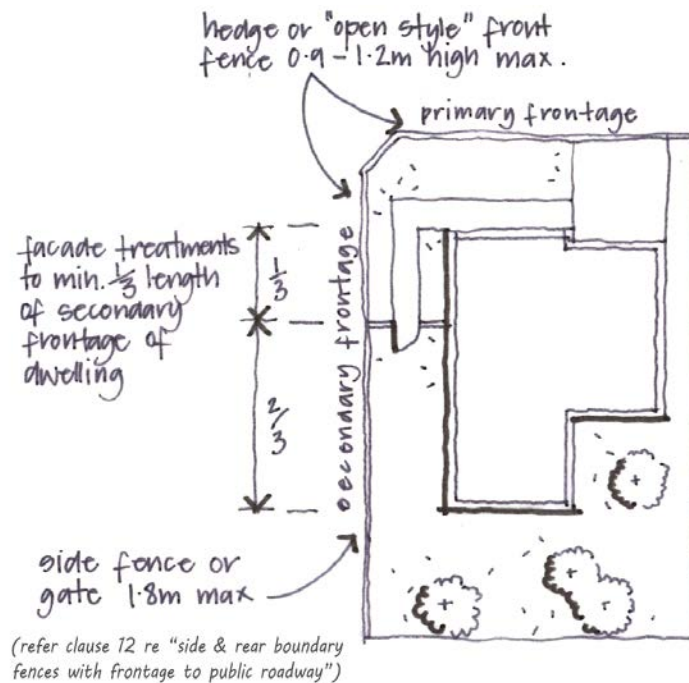
- Roofs shall be articulated and incorporate elements such as gables to provide visual interest. Contemporary, skillion roofs and flat roof elements including porticos, verandahs etc may be approved subject to design merit.

- Roof materials shall be selected from Colorbond, tiles, slate or cement shingles. They may not be white in colour or constructed of galvanised or other highly reflective materials.
- A dwelling shall not be elevated on posts or columns unless the space between the floor of the dwelling and the finished ground level is enclosed in a material similar to the wall above.

Please note: All matters pertaining to building appearance are at the discretion of the Encumbrance Manager and are considered on their architectural merits.

Corner Allotments

- Houses on corner lots must be designed to address both street frontages, with treatments that compliment the primary street frontage (e.g. quoins, matching windows, a return verandah).
- The material selection for the primary frontage of a dwelling shall extend along all elevations of the secondary frontage visible to the public (i.e. 1/3 of the dwelling single level elevations not screened by a 1.8m high fence, and all second level elevations).
- The secondary frontage visible to the public shall extend at least 1/3 of the length of the secondary frontage of the dwelling.



Allotments with frontages of 15.0 metres and less

- Streetscapes with narrower allotments can tend to be dominated by garages if the façade of the main dwelling lacks architectural detailing to create interest. To maintain a high quality streetscape environment in Aspire, homes on allotments with a frontage of 15.0 metres or less will be required to incorporate a minimum of 3 of the following elements to the front façade of the home:
 - Cement render;
 - Stonework (including stone veneer panels or tiles) combined with brick or render;
 - A portico or verandah;
 - Timber window frames or aluminium frames with architectural merit;

- Architectural details considered to contribute to the interest of the façade.
- Note: the last item will be at the discretion of the Aspire Project Manager.

10 Building on Sloping Sites

Requirements:

- Cut and fill shall be minimised, but when necessary the following principles shall be adopted:
 - The vertical distance between any lower floor of a building and natural ground level shall not exceed 1.0 metres at any point.
 - Any exposed areas below the finished floor level shall be screened by landscaping or appropriate physical screening.
 - Embankments shall have a maximum grade of 1-in-4 and be suitably landscaped to protect the embankment from erosion.



- Where retaining walls may be necessary they must be constructed prior to the occupation of the house and are to be constructed using materials that complement the natural environment.
- Plain concrete sleepers shall not be used forward of the dwelling.
- Retaining walls on boundaries shared with neighbouring properties shall have a maximum total height of 1 metre and the written approval of the relevant neighbouring owner(s). Where approval has not been given and has not been unreasonably withheld, no retaining wall may be constructed on the relevant boundary.

11 Outbuildings and External Fixtures

Requirements:

- Outbuildings including structures such as sheds, workshops, aviaries, gazebos and similar buildings are to comply with the following criteria:
 - not exceed 20 square metres in floor area for lots up to and including 450 sqm and not to exceed 36 sqm in floor area for lots greater than 450 sqm;
 - have a maximum height of no greater than 3.6 metres with a maximum wall height of 2.4m;
 - not result in the unreasonable overshadowing of the main living areas and private open space of a neighbouring dwelling;
 - be set-back 1.0m from side and rear boundaries; and
 - be pre-coloured and have an external finish that is complementary to the surrounding environment (Zincalume, galvanised finishes, or other highly reflective materials are not allowed).
 - must be positioned in at the rear of allotments and located so as to minimise their visibility from the primary street frontage.

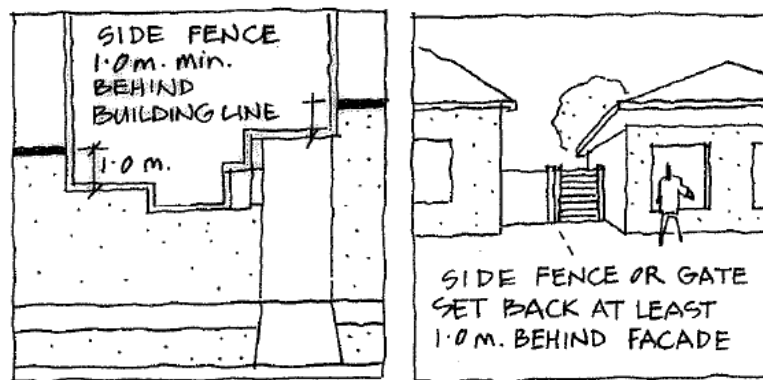
- Clotheslines shall be sited unobtrusively and away from public areas.
- Solar water heaters are encouraged, but they must not be unduly visible from the primary road and be of a type that does not incorporate a water storage tank on the roof.
- Air conditioners can cause nuisance noise for neighbours, and therefore their location shall be selected with care to minimise disturbance. Evaporative air conditioners shall be low profile, located below the ridge line of the roof and be of a neutral colour or match the roof colour. They must be located so as not to be unduly visible from the primary road frontage.
- Antennae (including satellite dishes) must be located within the roof space or be positioned such that they will not be unduly visible from the primary road frontage. In particular satellite dishes shall be coloured in a professional manner to match the structure to which they are attached i.e. roof or wall.
- Rainwater tanks shall be positioned at the side or rear of dwellings and screened from view.

12 Fencing

Fencing is an integral part of your home design as it provides privacy and enclosure and delineates between public and private spaces. The appearance of fencing can detract from the appearance of your property and the neighbourhood if designed inappropriately.

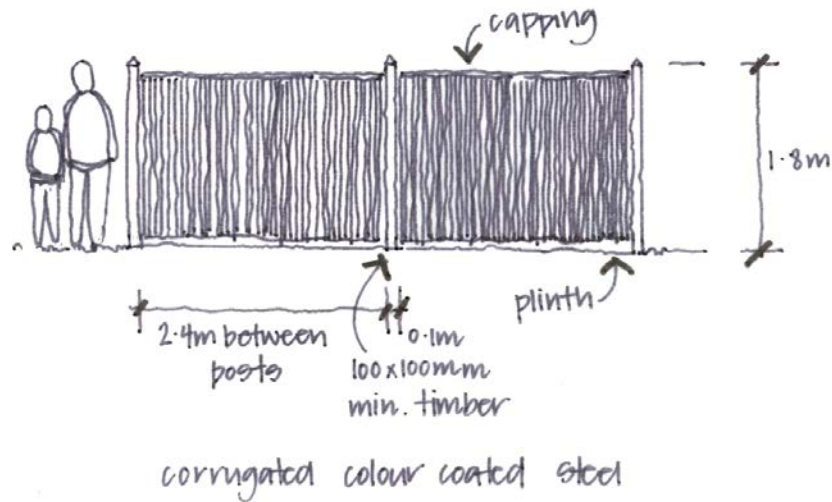
Side and Rear Boundary Fence Requirements:

- Side fences along common property boundaries must be located 1 metre behind any building line of the home which faces the street.



- Any fencing forward of this point must comply with the Front Boundary Fence Requirements below.
 - Side, return and rear boundary fences behind the building alignment are required to be 1.8m in height and constructed from Colorbond® or equivalent in colour (or equivalent) "Teatree®" and profile "Superdek" (or equivalent).
- For corner allotments, a maximum of 2/3 of the length of the secondary frontage of the dwelling can be constructed to 1.8 metres in height. If the remainder of the secondary frontage is fenced, it must have a maximum height of 1.2metres and conform to the Front Boundary Fence Requirements below.
- Brush fencing is not permitted.

- For side and rear boundary fences with a frontage to a public roadway fencing must be of a decorative nature in accordance with the specification shown in the figure below:

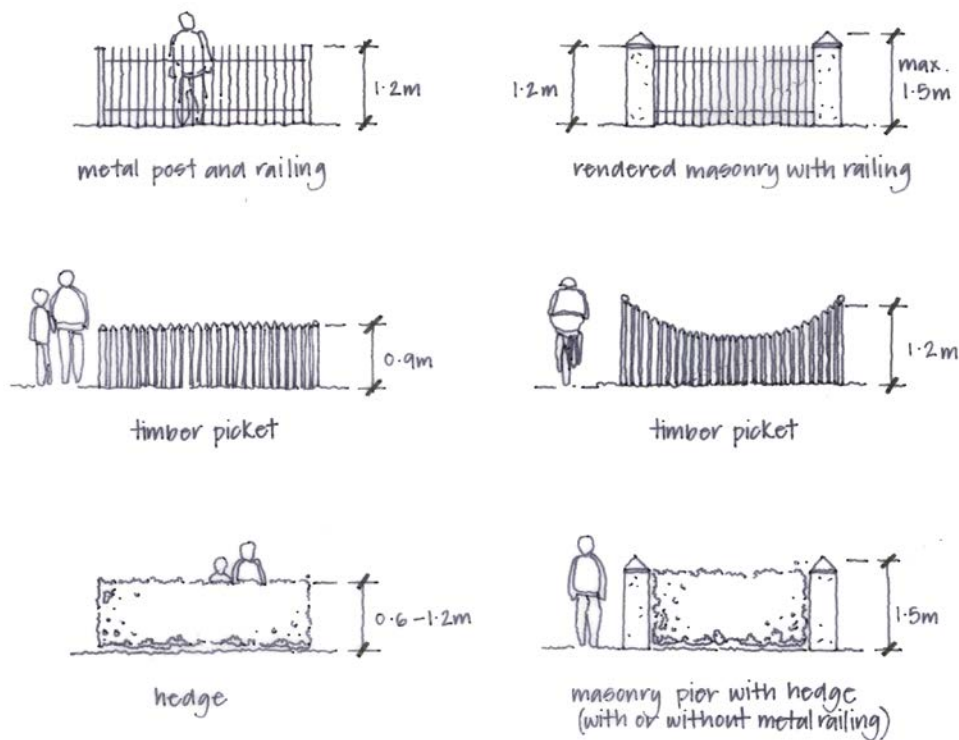


Front Boundary Fence Requirements:

- Fencing must be of open style in nature to enable views into front gardens;
- The maximum fence height permitted is 1.2 metres and the minimum height permitted is 0.9 metres (excepting hedges where the minimum height is 0.6m);
- Masonry piers may extend above the fence to a maximum height of 1.5m;
- Materials shall conform to the following table:

Material
Picket (timber, steel, aluminium) - minimum 50mm separation between uprights).
Piered brick or masonry piers with steel, timber or aluminium slat infill - minimum 50mm separation.

Examples of acceptable fences are shown over:



Please note: Acceptability of other fences is at the Encumbrance Manager's discretion

13 Landscaping

Requirement:

- Landscaping of gardens visible to the public, as well as any verges / nature strips, are required to be established within 6 months of occupation or practical completion of the associated dwelling (whichever occurs first). All landscaping must be regularly maintained in a standard consistent with the surrounding dwellings.

Recommendations:

Landscaping of front gardens should:

- screen or soften the appearance of storage, service and parking areas;
- generally be in scale with the buildings on the site;
- allow surveillance of entry points to dwellings;
- provide protection from sun and wind, while ensuring reasonable solar access to dwellings and private open space;
- minimise impermeable paved surfaces;
- use plant species suited to the site which minimise the need for maintenance;
- avoid interference with utility services; and
- not unreasonably affect adjacent properties through overshadowing or intrusive root systems .

Landscaping of private gardens should involve the selection of:

- species that are indigenous or suited to the geographic area;
- suitable species taking into account the eventual size, spread and root system of plants when mature;
- water efficient plants that will require minimal irrigation once established;
- plants that provide shade for dwellings and outdoor private open space during summer and allow solar access during winter (e.g. deciduous trees or vines).

14 Water Conservation

Requirements:

- The maximum height of any rainwater tank is 2.4 metres
- All tanks must be
 - set back at least 15m from the road frontage, or,
 - where set back less than 15m, set behind the building line and hidden from public view either by a screen or a side fence return.
- The overflow from all tanks must be directed via underground stormwater pipes to the street or a suitably constructed and dimensioned soakage well or trench.

Recommendation:

- Incorporate plumbing products (e.g. taps, shower-heads, toilets) and appliances (e.g. washing machines, dishwashers) with a minimum AAA rating.
- Install sub-surface irrigation systems or drippers for your garden.

15 Construction Timelines

Requirements:

- Construction of the dwelling is to commence within 18 months after block settlement.
- Best endeavours are to be undertaken to complete construction of the dwelling within 12 months of build commencement.
- Driveways are to be completed within 3 months of dwelling build completion.
- Garden and verge (including side verge, if applicable) landscaping is to be established within 6 months of dwelling build completion.

16 National Broadband Network (NBN)

Note:

- It is anticipated that the Aspire residential estate will be NBN compatible (that is, infrastructure will be in place to support telephone and high speed internet over the NBN). Please ensure that your builder is familiar with the home wiring requirements of the National Broadband Network.

17 Other

Note:

- Vacant and developed lots may not be used to store the following in public view: caravans, boats, containers, trucks, sheds, livestock or anything else that will be detrimental to surrounding amenity.

18 Protection of the Environment

Note:

- All buildings and construction work must be carried out in accordance with the Stormwater Pollution Prevention Code of Practice for the Building and Construction Industry (EPA 1999). Conformance with this Code will assist to prevent pollution of the stormwater that discharges to local waterways and wetlands and it also assists to protect the City's drainage infrastructure from damage created by deposition of waste materials from building sites.
- If Council or the Developer is required to sweep and clean a street or footpath and dispose of sediment and other wastes due to inadequate control of waste materials from the building site the cost of the street sweeping will be recovered from the builders/owners.
- Solid Wastes – All building materials and wastes associated with any building site activity must be stored and contained on the subject land until proper disposal can be effected. All light wastes (plaster and cement bags, plastics, wrappings etc.) shall be secured and placed in a covered rubbish skip on-site. Information regarding on-site separation and recycling on construction waste is available upon request.
- Dust Emissions – The emission of dust from a construction site shall be minimised as such dust can cause significant nuisance to nearby residents and pollution of stormwater. Builders/owners are encouraged to take the following steps:
 - Dust emissions from a site shall be controlled so as to minimise any adverse effect on the amenity value of an area.
 - All roadways, entrances and main traffic areas to a site must be compacted, sealed or coated with a dust suppressant or watered regularly to minimise dust.
- Smoke and Combustibles – No lighting of fires or burning in the open contrary to the Environmental Protection (Burning) Policy 1994, is permitted.

19 Your Obligations

The Residential Design Guidelines form part of the Encumbrance attached to the Certificate of Title on all allotments purchased. Therefore, *all purchasers are contractually required to comply with the guidelines*. All dwellings, outbuildings, landscaping of front yards and other structures as detailed in these guidelines require an Encumbrance Approval *prior to seeking the approval of Council*.